

\$ PAID
22,224.00 *JK*



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

T :: 831.648.3190 • F :: 831.648.3184 • www.ci.pg.ca.us/cdd

Permit & Request Application

| Project Permit(s) & Fees | | | |
|--------------------------|---------|---------------------------|---------------------|
| Permit: | Fee: | Multiple Permit Discount: | App. #: |
| AP | \$2,224 | | 14-197 |
| | | | Date: 3-12-14 |
| | | | Received By: JOM |
| | | | Total Fee: \$ 2,224 |

| Project/Property Information | |
|------------------------------|---|
| Project Address: | 1034 Bayview |
| APN: | 006-122-028 |
| Lot: | 3 |
| Block: | 344 |
| Tract: | Fairway Homes Tract |
| ZC: | R-1 |
| GP: | MD 17.4 |
| Lot Size: | 5,403 |
| Project Description: | Build a Hip Roof over existing 2nd story Deck. Enlarging the 2nd story requires ARB according to PGMC 23.08 (G) (1) B |
| Applicant Name: | Balesteri Construction |
| Phone #: | 920-1765 |
| Mailing Address: | 434 B Washington St. Suite #350 Monterey, CA 93940 |
| Email Address: | anthony@balesteri.com |
| Owner Name: | Doug Herrman |
| Phone #: | 509-458-4113 |
| Mailing Address: | 1816 G. 28th Ave Spokane, Washington 99203 |
| Email Address: | |

| Permit(s)/Request(s) | | | |
|--|---|--|---|
| <input type="checkbox"/> CRD: Counter Determination | <input type="checkbox"/> UP: Use Permit | <input type="checkbox"/> IHS: Initial Historic Screening | <input type="checkbox"/> VAR: Variance |
| <input checked="" type="checkbox"/> AP: Architectural Permit | <input type="checkbox"/> AUP: Administrative UP | <input type="checkbox"/> HPP: Historic Preservation Permit | <input type="checkbox"/> AVAR: Administrative VAR |
| <input type="checkbox"/> AAP: Administrative AP | <input type="checkbox"/> UP-A: UP Amendment | <input type="checkbox"/> HD: Historic Demolition Permit | <input type="checkbox"/> VAR-A: VAR Amendment |
| <input type="checkbox"/> ADC: AP Design Change | <input type="checkbox"/> AUP-A: AUP Amendment | <input type="checkbox"/> HRP: Historic Relocation Permit | <input type="checkbox"/> AVAR-A: AVAR Amendment |
| <input type="checkbox"/> SP: Sign Permit | <input type="checkbox"/> C-1 Interp. of Permitted Uses | <input type="checkbox"/> HD: Historic Determination | <input type="checkbox"/> IS & ND/MND: Initial Study |
| <input type="checkbox"/> ASP: Administrative SP | <input type="checkbox"/> SU: Second Unit | <input type="checkbox"/> TPD: Tree Permit w/ Dev't | <input type="checkbox"/> EIR: Env. Impact Report |
| <input type="checkbox"/> TTM: Tentative Tract Map | <input type="checkbox"/> LLA: Lot Line Adjustment | <input type="checkbox"/> PUU: Permit Undocumented Unit | <input type="checkbox"/> MMP: Mitigation Monitoring |
| <input type="checkbox"/> FTM: Final Tract Map | <input type="checkbox"/> LM: Lot Merger | <input type="checkbox"/> GPA: General Plan Amendment | <input type="checkbox"/> Other |
| <input type="checkbox"/> SPR: Site Plan Review | <input type="checkbox"/> COC: Certificate of Compliance | <input type="checkbox"/> ZCA: Zoning Code Amendment | <input type="checkbox"/> Other |

| CEQA Determination | Review Authority | Does the property have? | Is the property within? |
|---|---|---|--|
| <input checked="" type="checkbox"/> Cat. Exempt, Class: | <input type="checkbox"/> Staff | <input type="checkbox"/> Active Planning Permit | <input type="checkbox"/> ASA: Archaeologically Sensitive Area ¹ |
| <input type="checkbox"/> ND: Negative Declaration | <input type="checkbox"/> ZA | <input type="checkbox"/> Active Building Permit | <input type="checkbox"/> CZ: Coastal Zone ² |
| <input type="checkbox"/> MND: Mitigated ND | <input type="checkbox"/> SPRC | <input type="checkbox"/> Active Code Violation | <input checked="" type="checkbox"/> ASBS: Drainage into ASBS Watershed |
| <input type="checkbox"/> EIR: Environmental Impact Report | <input checked="" type="checkbox"/> ARB | | <input type="checkbox"/> HRI: Historic Resources Inventory ^{3,4} |
| | <input type="checkbox"/> NRC | | <input type="checkbox"/> BP: Butterfly Preserve Buffer |
| | <input type="checkbox"/> HRC | | |
| | <input type="checkbox"/> PC | | |
| | <input type="checkbox"/> CC | | |

CERTIFICATION – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge. If the owner is not available for signature, written/electronic and signed verification from the owner shall be required at the time of submittal agreeing to 1) the Applicant acting as their agent, 2) this Certification and 3) the Applicant acknowledgment below.

D Herrman 3-12-2014 *D Herrman* 3-12-2014
Applicant Signature Date Owner Signature (Required) Date

PROJECT DATA SHEET

Project Address: 1034 Bayview Submittal Date: March 13, 2014
 Applicant(s): Doug Herrman Permit Type(s) & No(s): AP 14-197

| | REQUIRED/ Permitted | Existing Condition | Proposed Condition | Notes |
|---|------------------------|-----------------------|-----------------------|--|
| Zone District | R-1 | R-1 | N/A | N/A |
| Building Site Area | 4,000 | 5,403 | No Change | Per pgs parcel.net |
| Density (multi-family projects only) | N/A | N/A | N/A | N/A |
| Building Coverage | 40% | 26% | No Change | N/A |
| Site Coverage | 60% | 40% | No Change | N/A |
| Gross Floor Area | 2,683 | 2,310 | 2,464 | Per gross floor area definition (B) covered open porch |
| Square Footage not counted towards Gross Floor Area | | Deck | 0 | N/A |
| Impervious Surface Area Created and/or Replaced | N/A | N/A | N/A | N/A |
| Exterior Lateral Wall Length to be demolished in feet & % of total* | _____ | _____ | ___ft/ ___% | N/A |
| Exterior Lateral Wall Length to be built | _____ | _____ | | N/A |
| Building Height | 25' | 22'9" | No Change | |
| Number of stories | 2 | 2 | No Change | N/A |
| Front Setback | 15' | 74' | No Change | Garage is in Front of the House |
| West Side Setback (specify side) | 10% of site width | 7'- 3" | No Change | From the Deck |
| East Side Setback (specify side) | 10% of site width | 5'- 7" | No Change | |
| Rear Setback | 10' min | | No Change | |
| Garage Door Setback | 20' min | 52' | No Change | |
| Covered Parking Spaces | 1 | 2 | No Change | |
| Uncovered Parking Spaces | 1 | 2 | No Change | |
| Parking Space Size (Interior measurement) | 9' x 20' | 20'x20' | No Change | |
| Number of Driveways | 1 | 1 | No Change | |
| Driveway Width(s) | 20' | 20' | No Change | |
| Back-up Distance | | | | N/A |
| Eave Projection (Into Setback) | 3' maximum | | 2' | New Deck Roof |
| Distances Between Eaves & Property Lines | 3' minimum | | 5' | New Deck Roof |
| Open Porch/Deck Projections | | 154 sq.ft. | No Change | Existing Deck |
| Architectural Feature Projections | | | | N/A |
| Number & Category of Accessory Buildings | | | | N/A |
| Accessory Building Setbacks | | | | N/A |
| Distance between Buildings | | | | N/A |
| Accessory Building Heights | | | | N/A |
| Fence Heights | | | | N/A |



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6.a

AP PERMIT 14-197

FOR A PROPERTY LOCATED AT 1034 BAYVIEW; ADDITION OF A NEW ROOF OVER AN EXISTING SECOND STORY DECK RESULTING IN AN ADDITIONAL 154 SQUARE FEET OF GROSS FLOOR AREA TO AN EXISTING 2,310 SQUARE FOOT TWO STORY 23 FOOT HIGH SINGLE –FAMILY RESIDENCE; FOR A TOTAL OF 2,464 SQUARE FEET.

FACTS

1. The subject site is located at 1034 Bayview Avenue Pacific Grove, 93950 APN 006-122-028
2. The subject site has a designation of Medium Density Residential 17.4 dwelling units/acre on the adopted City of Pacific Grove General Plan Land Use Map.
3. The project site is located in the R-1 zoning district.
4. Height limit of 25 feet is permitted in the R-1 zoning district.
5. The subject site is approximately 5,403 square feet.
6. The subject site is developed with a two story single family residence.
7. This project has been determined to be EXEMPT under CEQA Guidelines Class 1. 15301(e)(1)
8. The project does not encroach in the side yard setback.

FINDINGS

1. The proposed development will meet the development regulations set forth in the R-1 zoning district, including but not limited to heights, parking and setbacks.
2. The architecture and general appearance of the completed project are compatible with the neighborhood because the proposed exterior will be compatible with the size, scale and proportions of the existing residence and other residences in the neighborhood, in that the proposal is consistent with Architectural Review Guidelines Nos.29, 31, 34 and;
2. The completed project will neither be detrimental to the orderly and harmonious development of the city nor impair the desirability of investment or occupation in the neighborhood because the project will be improving the subject property, and;
3. The Board has been guided by and has made reference to applicable provisions of the Architectural Review Guidelines in making its determinations on single-family residences, and;
4. The findings from the Archeological Report reported the project should not be delayed for archaeological reasons. However if archeological resources or human remains are unexpectedly discovered during construction, work shall be halted on the parcel until the find can be evaluated by a qualified professional archaeologist. If it is determined to be significant, appropriate mitigation measures shall be formulated, with the concurrence of the Lead Agency, and implemented.

PERMIT

AP Permit to allow:

- 1) Addition of a new roof over an existing second story deck resulting in an additional 154 square feet of gross floor area to an existing 2, 310 square foot two story 23' high single- family residence; for a total of 2,464 square feet.

CONDITIONS OF APPROVAL

1. **Permit Expiration.** This permit shall expire and be null and void if a building permit has not been applied for within one (1) year from and after the date of approval. Application for extension of this approval must be made prior to the expiration date.
2. **Construction Compliance.** All construction must occur in strict compliance with the proposal as set forth in the application, subject to any special conditions of approval herein. Any deviation from approvals must be reviewed and approved by staff, and may require Architectural Review Board approval.
3. **Terms and Conditions.** These terms and conditions shall run with the land, and it is the intention of the CDD Director and the Permittee to bind all future owners and possessors of the subject property to the terms and conditions, unless amended. Amendments to this permit may be achieved only if an application is made and approved, pursuant to the Zoning Code.
4. **Public Works, Fire and Building.** Review and approval by the Public Works, Fire and Building Departments are required prior to issuance of a building permit. Work taking place in the public right-of-way shall require an encroachment permit prior to issuance of the building permit.
5. **Conformance to Plans.** Development of the site shall conform to approved (AP 14-002) plans entitled "Hanssen Residence" dated February 11, 2014 on file with the Community Development Department and to the Building Code, with the exception of any subsequently approved changes.
6. **Tree Protection Standards During Construction:** Pursuant to Municipal Code Chapters 12.20 and 12.30, and the *Urban Forestry Standards*, all trees that are otherwise protected and will be impacted as a result of Development, both proposed for pruning or removal and where the development will impact the critical root zone of the tree are protected. Prior to issuance of the building permit, the Project Arborist shall review grading, drainage, utility, building and landscape plans to determine impacts to individual Trees, to determine required minimum Tree protection standards during construction.
7. **Coastal Development Permit:** A Coastal Development Permit is required for final approval of this project.
8. **Archeological Report:** The findings from the Archeological Report reported the project should not be delayed for archaeological reasons. However if archeological resources or human remains are unexpectedly discovered during construction, work shall be halted on the parcel until the find can be evaluated by a qualified professional archaeologist. If it is determined to be significant, appropriate mitigation measures shall be formulated, with the concurrence of the Lead Agency, and implemented.

NOW, THEREFORE, BE IT RESOLVED BY THE ARCHITECTURAL REVIEW BOARD OF THE CITY OF PACIFIC GROVE:

1. The Board determines that each of the Findings set forth above is true and correct, and by this reference incorporates those Findings as an integral part of this Permit.
2. The Board authorizes APPROVAL of A side yard addition of a single story 75 square feet to an existing 2,032 square foot two story twenty-four foot high single-family residence. Addition of 10 square foot landing to a new roof deck increasing the height to 29 feet. AP 14-002
3. This permit shall become effective upon the expiration of the 10-day appeal period.
4. This permit shall not take effect until the owner acknowledges and agrees to all terms and conditions and agrees to conform to and comply with those terms and conditions.

Passed and adopted at a regular meeting of the Architectural Review Board of the City of Pacific Grove on the 11th day of February, 2014 by the following vote:

AYES:

NOES:

ABSENT: 1 Vacant

APPROVED:

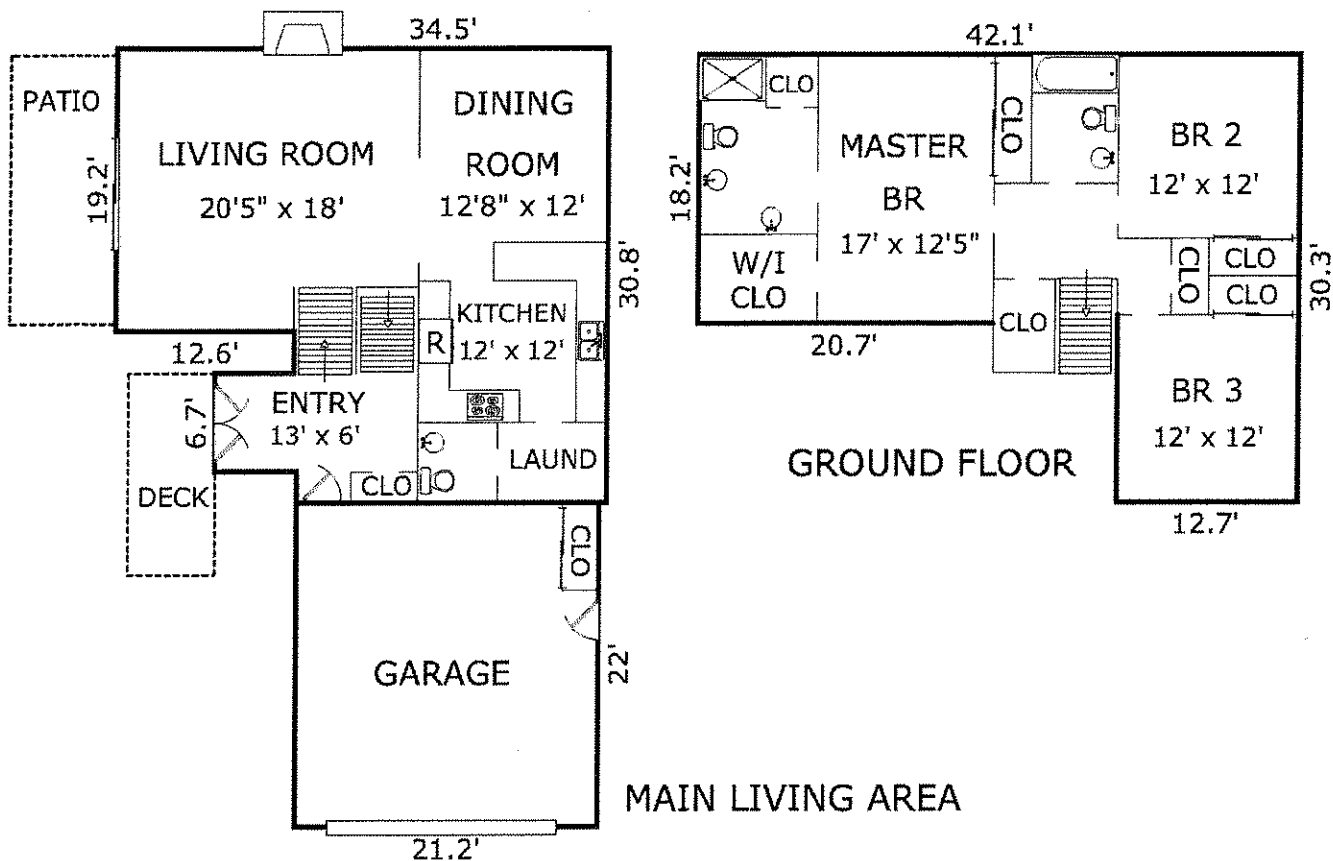
Jim McCord, Chair

The undersigned hereby acknowledge and agree to the approved terms and conditions, and agree to fully conform to, and comply with, said terms and conditions.

Doug Herrman, Owner

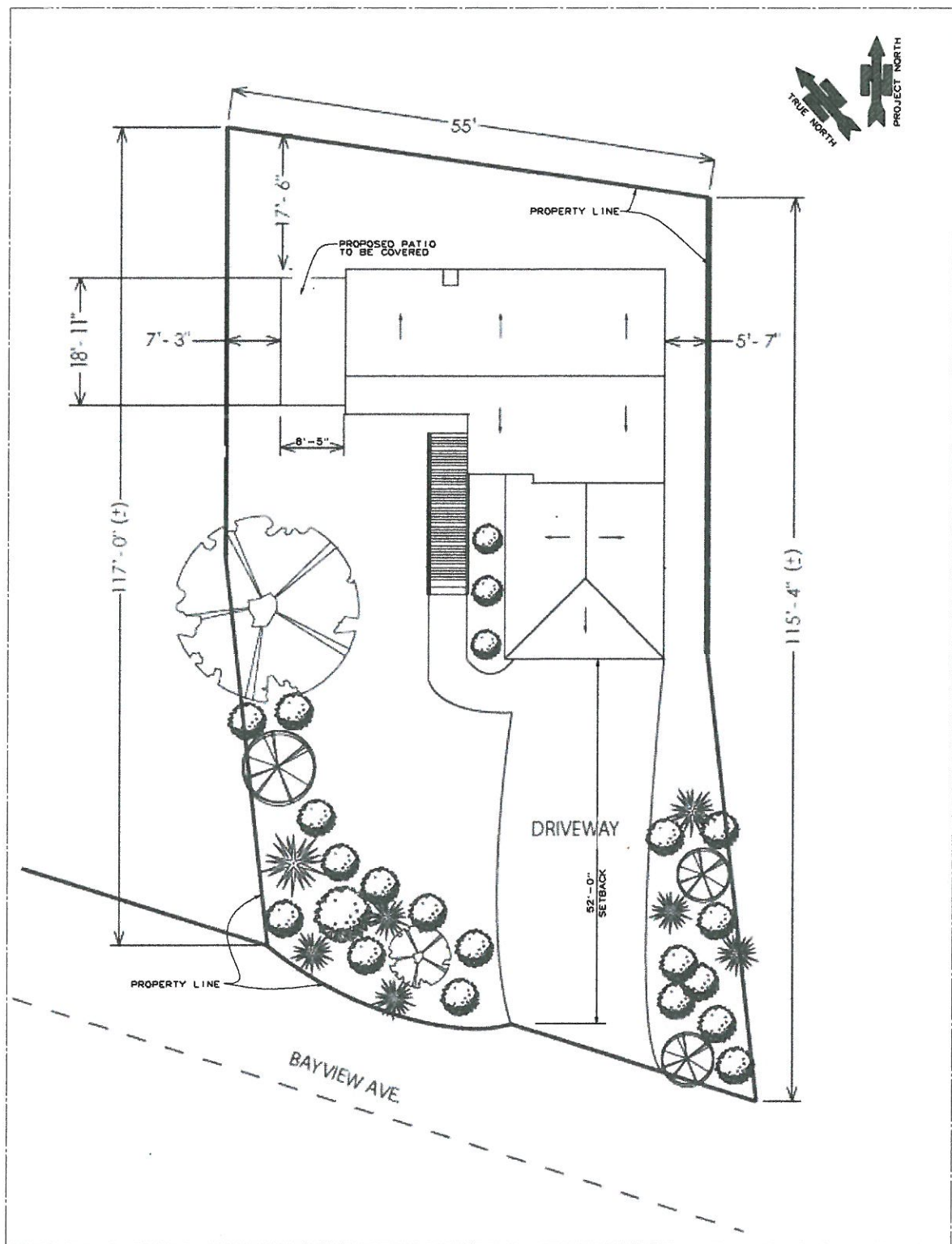
Date

1034 BAYVIEW AVENUE, PACIFIC GROVE, CA 93950



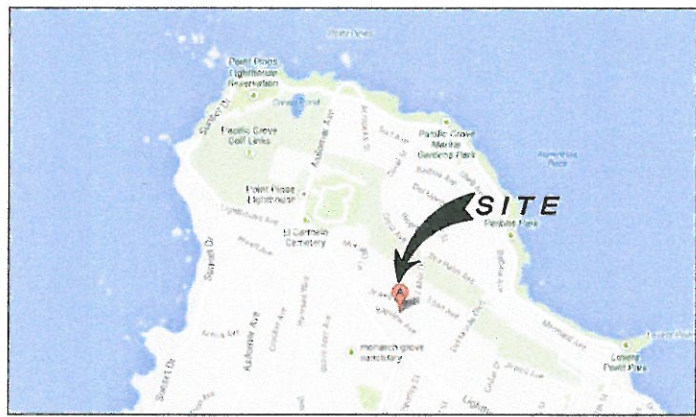
AREA CALCULATIONS

| | |
|--------------------------|----------------|
| Main Living Area: | 952sf |
| Ground Floor: | 892 |
| Net Livable Area: | 1,844sf |
| | |
| Garage: | 466 |
| Patio: | 138 |
| Deck: | 82 |



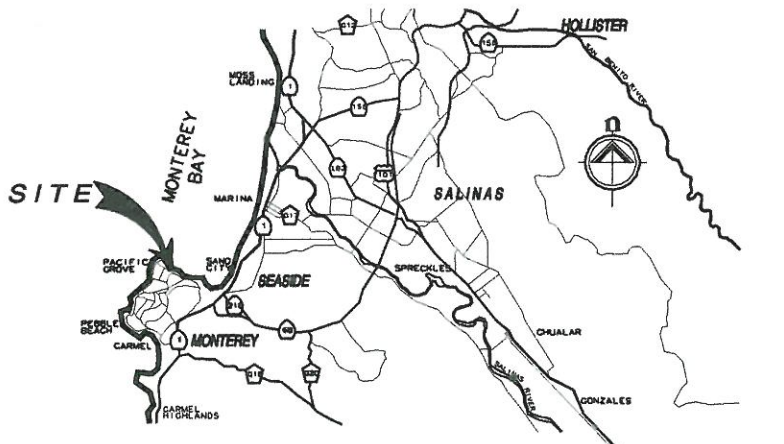
S I T E P L A N

1" = 10'-0"



L O C A T I O N M A P

N.T.S.



V I C I N I T Y M A P

N.T.S.

GENERAL NOTES:

- A. GENERAL
 - A1. SITE CONDITIONS: THE CONTRACTOR SHALL EXAMINE AND CHECK ALL EXISTING CONDITIONS, DIMENSIONS, LEVELS AND MATERIALS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
 - A2. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS & PROPERTY THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY & NOT BE LIMITED TO NORMAL WORKING HOURS; & THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
 - A3. ALL CONSTRUCTION NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM WITH SIMILAR CONSTRUCTION SHOWN. ALL CONSTRUCTION SHALL BE PER THE PER THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE (CBC), 2010.
 - A4. FOUNDATION DESIGN IS BASED ON ALLOWABLE SOIL BEARING PRESSURE OF 1,500psf.
- B. CONCRETE
 - B1. CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH $f'_c = 2,900\text{psi}$ AT 28 DAYS. MAXIMUM AGGREGATE SIZE = 3/4". CONCRETE SHALL BE MIXED PLACED AND CURED IN ACCORDANCE WITH A.C.I. 318 - LATEST EDITION.
 - B2. REINFORCING STEEL SHALL CONFORM WITH ASTM A-615, GRADE 40 FOR #4 BARS & SMALLER, GRADE 60 FOR #5 & LARGER. BARS SHALL HAVE A MINIMUM LAP LENGTH OF 40 BAR DIAMETERS OR 12" MINIMUM. MINIMUM CONCRETE COVER TO BARS SHALL BE AS PER SECTION 7.7.1 OF A.C.I. 318 UNLESS OTHERWISE SHOWN.
 - B3. ANCHOR BOLTS SHALL BE ASTM A307, GALVANIZED STEEL PER ASTM A448 WHEN INSTALLED IN PRESSURE TREATED WOODS.
- C. LUMBER
 - C1. LUMBER SHALL BE DOUGLAS FIR LARCH AS FOLLOWS:
 - JOISTS AND STUDS.....#2 AND BETTER
 - POSTS.....#1 AND BETTER
 - BEAMS AND HEADERS.....#1 AND BETTER
 - BLOCKING AND SECONDARY FRAMING.....#2 AND BETTER
 - SILL PLATE AND ALL WOOD IN CONTACT WITH CONCRETE.....PRESSURE TREATED #1
 - C2. NAILING SHALL BE COMMONWIRE NAILS, GALVANIZED WHEN EXPOSED TO THE EXTERIOR. SIZE, SPACING AND NUMBER SHALL BE PER TABLE 2304.9.1 OF THE CBC 2010.
 - PLYWOOD.....SEE PLANS OR SECTIONS
 - ALL OTHERS.....SEE TABLE 2304.9.1, CBC 2010 EDITION U.O.N. AS SHOWN OR NOTED IN THE PLANS.
 - C3. JOIST HANGERS, SHEET METAL CLIPS AND OTHER CONNECTIONS SHALL BE MANUFACTURED BY "SIMPSON CO." OR APPROVED EQUAL. "USP" LUMBER CONNECTORS WITH REFERENCE NUMBERS FOR SUBSTITUTION MAY BE USED IN LIEU OF SIMPSON HARDWARE. ALL METAL CLIPS IN CONTACT WITH P.T.D.F. LUMBER SHALL BE HOT-DIP GALVANIZED STEEL (Z MAX) WHEN AVAILABLE.

RECEIVED

MAR 19 2014

CITY OF PACIFIC GROVE
COMMUNITY DEV DEPT

CODES:

| | |
|-----------------------------|------------|
| CALIFORNIA BUILDING CODE | (CBC) 2013 |
| CALIFORNIA RESIDENTIAL CODE | (CRC) 2013 |
| CALIFORNIA ELECTRICAL CODE | (CEC) 2013 |
| CALIFORNIA PLUMBING CODE | (CPC) 2013 |

PROJECT SPECIFICS:

| | |
|-------------------------------|-----------------|
| OCCUPANCY GROUP: | R-3 (NO CHANGE) |
| TYPE OF CONSTRUCTION: | V (NO CHANGE) |
| NO CHANGE IN TOTAL FLOOR AREA | |

LEGEND:

| | |
|--------|----------------------------|
| <E> | EXISTING |
| <N> | NEW |
| C | CENTERLINE |
| P | PLATE |
| EA | EACH |
| U.O.N. | UNLESS OTHERWISE NOTED |
| T.O.C. | TOP OF CONCRETE |
| B.O.C. | BOTTOM OF CONCRETE |
| E.N. | EDGE NAILING |
| F.F. | FINISHED FLOOR |
| F.G. | FINISHED GRADE |
| A.R.C. | ARCHITECTURAL PLANS |
| N.I.C. | NOT IN CONTRACT |
| SIM. | SIMILAR |
| TYP. | TYPICAL |
| S.B. | SOLID BLOCKING |
| A.B. | ANCHOR BOLT |
| N.T.S. | NOT TO SCALE |
| V.I.F. | VERIFY IN FIELD |
| S.A.D. | SEE ARCHITECTURAL DRAWINGS |
| S.F.E. | SOILS FIELD ENGINEER |

LIST OF DRAWINGS

| DRAWING NUMBER | DRAWING TITLE |
|----------------|---|
| T1 | TITLE SHEET |
| A1 | EXISTING AND PROPOSED ROOF PLAN |
| A2 | EXISTING & PROPOSED EXTERIOR ELEVATIONS |
| S1 | FRAMING PLANS |
| S2 | FRAMING SECTIONS AND DETAILS |

SCOPE OF WORK:

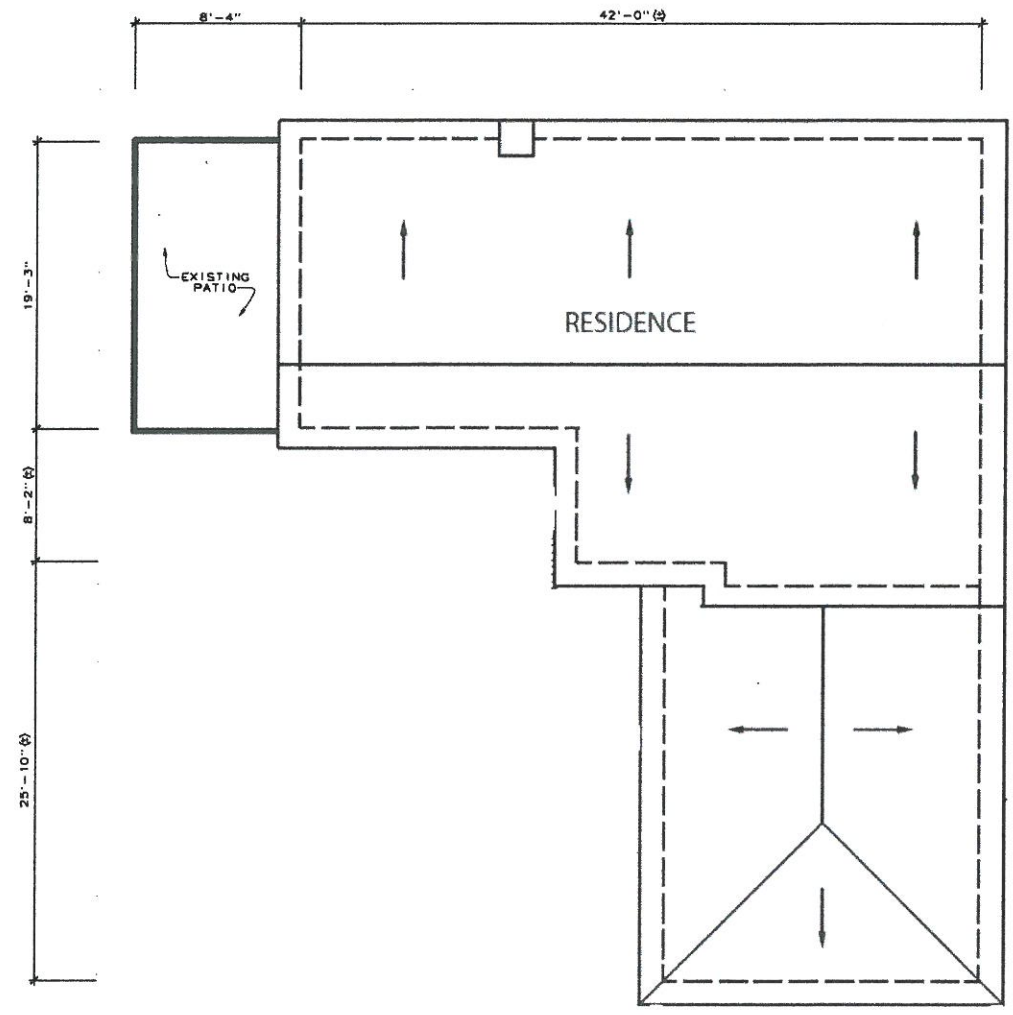
THE SCOPE OF WORK OF THIS PROJECT IS LIMITED TO THE NEW ROOF OVER THE EXISTING 2ND FLOOR EXTERIOR DECK ALONG THE WEST ELEVATION INCLUDING A NEW WATER PROOFING MEMBRANE & GUARDRAIL TO THE DECK. ALL NEW WORK SHALL BE PRIMED AND FINISHED TO MATCH EXISTING INCLUDING TOUCH UP TO EXISTING ELEMENTS WHERE IMPACTED. NO OTHER ITEMS ARE INCLUDED IN THIS PROJECT.

SHEAR SHEATHING SCHEDULE

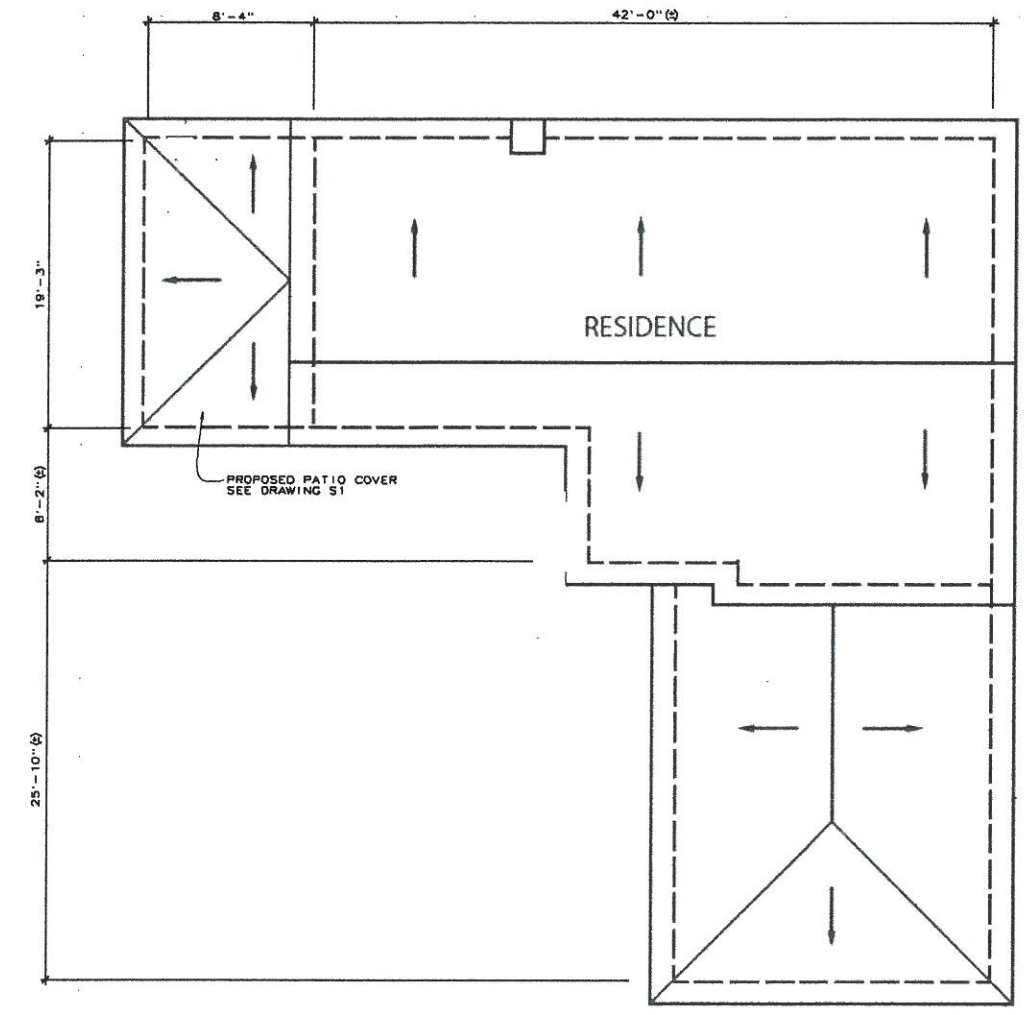
| MARK | GRADE | NAIL SIZE | TYPICAL NAILING | | | SILL PLATE | | EDGE BLOCKING | REMARKS |
|------|--------|-----------|-----------------|----------|-------|------------|-----------|---------------|----------------------------|
| | | | EDGE | BOUNDARY | FIELD | NAILING | BOLTING | | |
| △ | 15/32" | CDX | 8d | 6" | 6" | 12" | — | — | NO ROOF PLYWOOD |
| △ | 3/4" | CDX | 10d | 6" | 6" | 12" | — | — | NOT IF T & G FLOOR PLYWOOD |
| △ | 15/32" | CDX | 10d | 6" | 6" | 12" | 16d AT 6" | — | YES b |

- a. PROVIDE 3" x 3" x .0229" STEEL PLATE WASHER TO ALL ANCHOR BOLTS
- b. OSB IS AN ACCEPTABLE ALTERNATE FOR CDX PLYWOOD.
- c. ROOF PLYWOOD AT EXTERIOR EAVES AND OVERHANGS SHALL BE BONDED WITH EXTERIOR GLUE.

| | |
|---|---------------|
| REVISIONS | BY |
| 6.a | |
| | |
| PREPARED BY: GERALD GRABBES & ASSOCIATES, INC. 1816 E 28th AVENUE SPOKANE, WA 99203 PHONE: (509) 425-8400 FAX: (509) 425-8401 WWW.GRABBESANDASSOCIATES.COM | |
| PREPARED FOR: MR. DOUG HERRMAN 1816 E 28th AVENUE SPOKANE, WA 99203 PHONE: (509) 425-8400 | |
| PROPOSED ROOF OVER 2nd FLOOR PATIO FOR DOUG HERRMAN 1034 BAYVIEW AVENUE, PACIFIC GROVE, CALIFORNIA GENERAL NOTES, SITE PLAN | |
| DATE | FEBRUARY 2014 |
| SCALE | AS SHOWN |
| DRAWN | AV/KDC |
| CHECKED | WNN |
| JOB | 4775 |
| FILE | 4775 - T1 |
| SHEET | |
| OF | T-1 |
| SHEETS | |



EXISTING ROOF PLAN
 3/16" = 1'-0"



PROPOSED ROOF PLAN
 3/16" = 1'-0"



| REVISIONS | BY |
|-----------|----|
| 6.a | |
| | |
| | |
| | |
| | |



DESIGNED BY:
BALESTERI
 DESIGN'S
 484-B WASHINGTON ST. SUITE 350
 SPOKANE, WA. 99203
 831.920.1763
 www.balesteri.com

PREPARED FOR:
 MR. DOUG HERRMAN
 1816 E 26th AVENUE
 SPOKANE, WA. 99203
 PHONE: (831) 884-6125

PROPOSED ROOF OVER 2nd FLOOR PATIO
 FOR
DOUG HERRMAN
 1034 BAYVIEW AVENUE, PACIFIC GROVE, CALIFORNIA
 EXISTING AND PROPOSED ROOF PLANS

| | |
|---------|---------------|
| DATE | FEBRUARY 2014 |
| SCALE | AS SHOWN |
| DRAWN | AV |
| CHECKED | WNN |
| JOB | 4775 |
| FILE | 4775 - A1 |
| SHEET | |

A-1

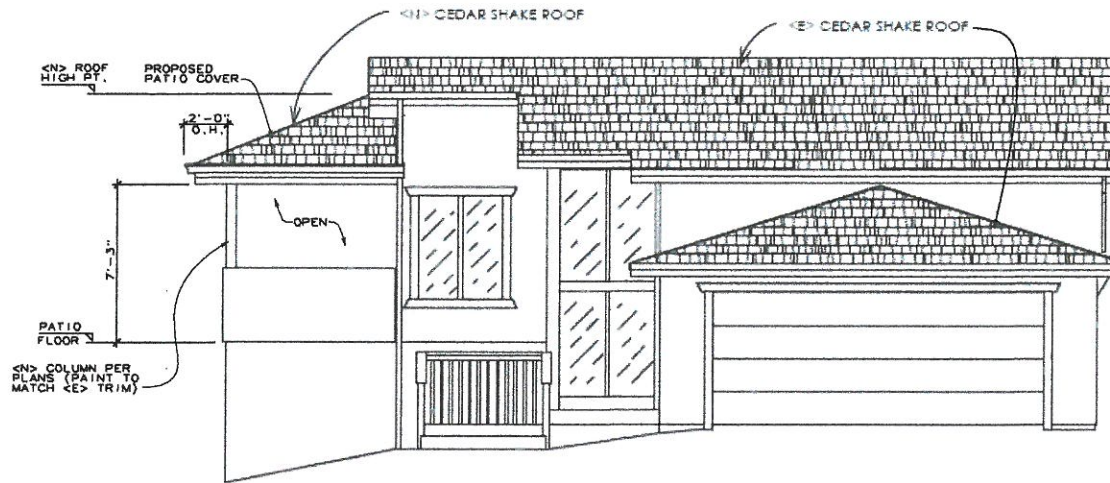
OF SHEETS

THESE PLANS ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN CONSENT OF D.A. GRAY & ASSOCIATES, INC.



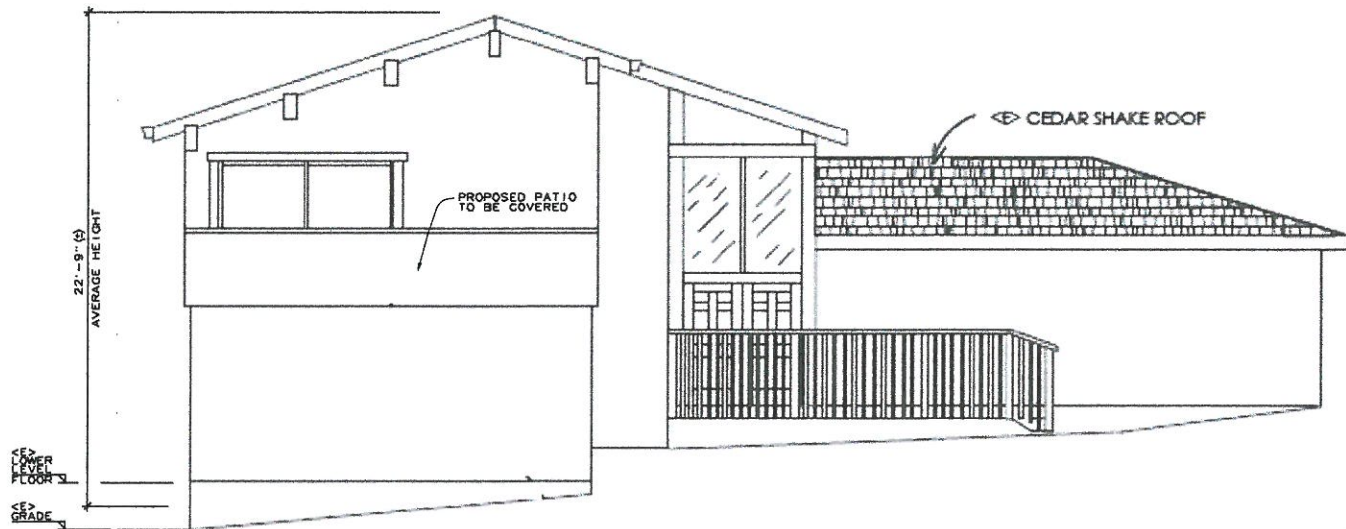
EXISTING SOUTH ELEVATION

1/4" = 1'-0"



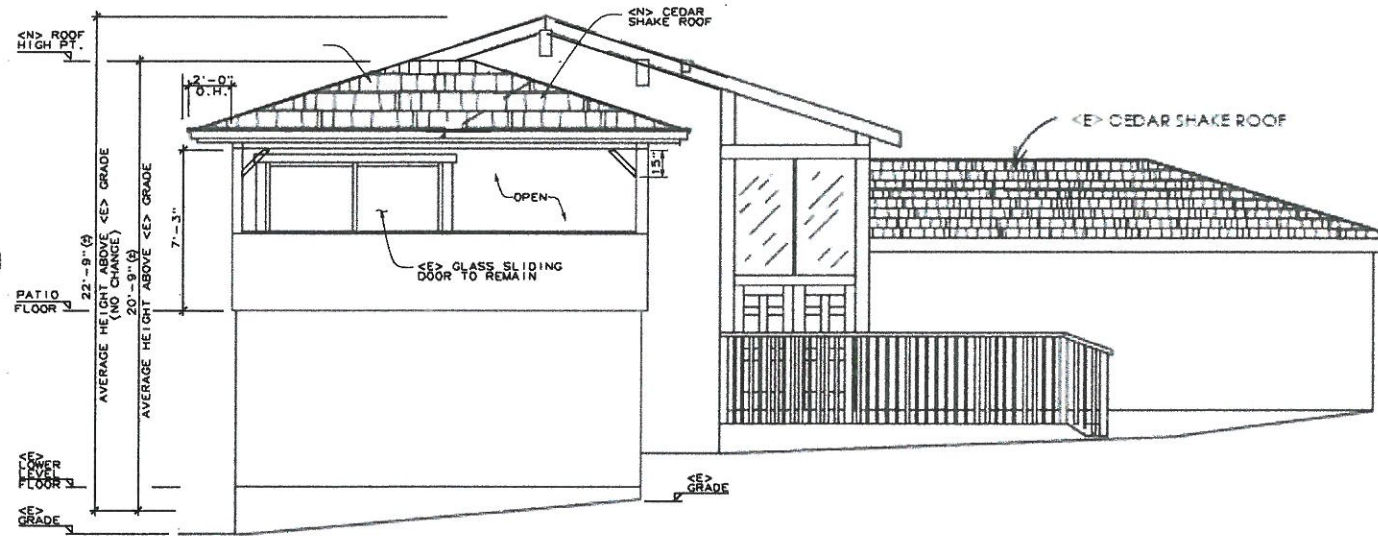
PROPOSED SOUTH ELEVATION

1/4" = 1'-0"



EXISTING WEST ELEVATION

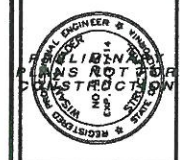
1/4" = 1'-0"



PROPOSED WEST ELEVATION

1/4" = 1'-0"

| REVISIONS | BY |
|-----------|----|
| 6.a | |



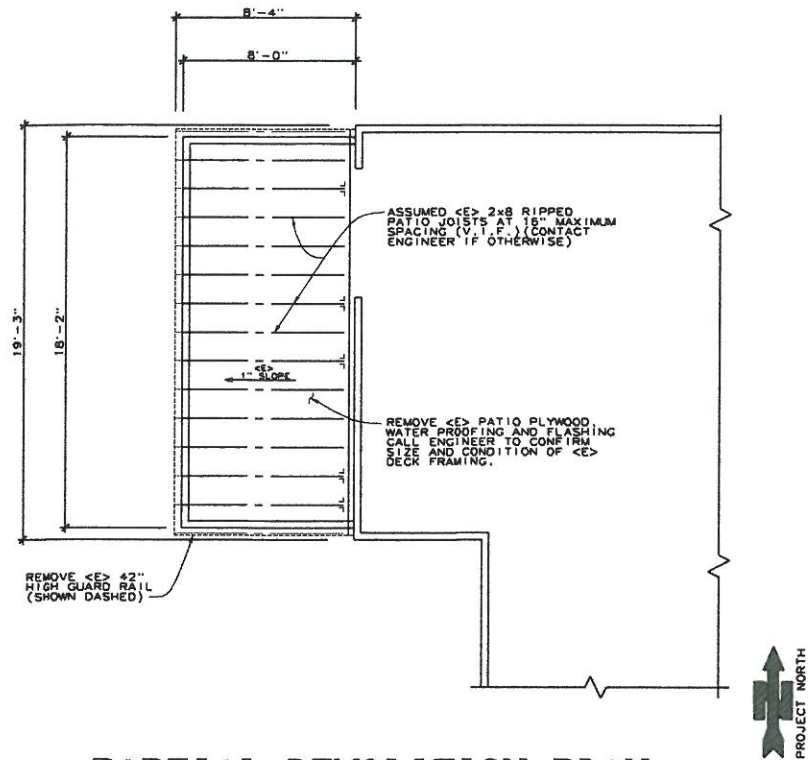
DESIGNED BY:
BALESTIER
 DESIGNS
 484-B WASHINGTON ST. SUITE 350
 SPOKANE, WA. 99203
 831.920.1763
 www.balestier.com

PREPARED FOR:
 MR. DOUG HERRMAN
 1816 E 28th AVENUE
 SPOKANE, WA. 99203
 PHONE: (831) 884-6125

PROPOSED ROOF OVER 2nd FLOOR PATIO
 FOR
DOUG HERRMAN
 1034 BAYVIEW AVENUE, PACIFIC GROVE, CALIFORNIA
 EXTERIOR ELEVATIONS

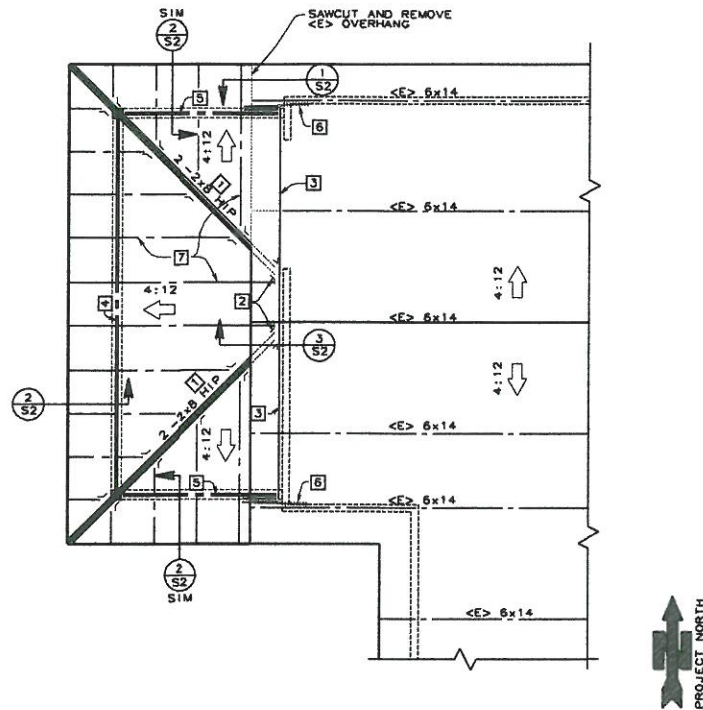
| | |
|---------|---------------|
| DATE | FEBRUARY 2014 |
| SCALE | AS SHOWN |
| DRAWN | AV |
| CHECKED | WNN |
| JOB | 4775 |
| FILE | 4775 - A2 |
| SHEET | |

A-2
 OF SHEETS



PARTIAL DEMOLITION PLAN

1/4" = 1'-0"

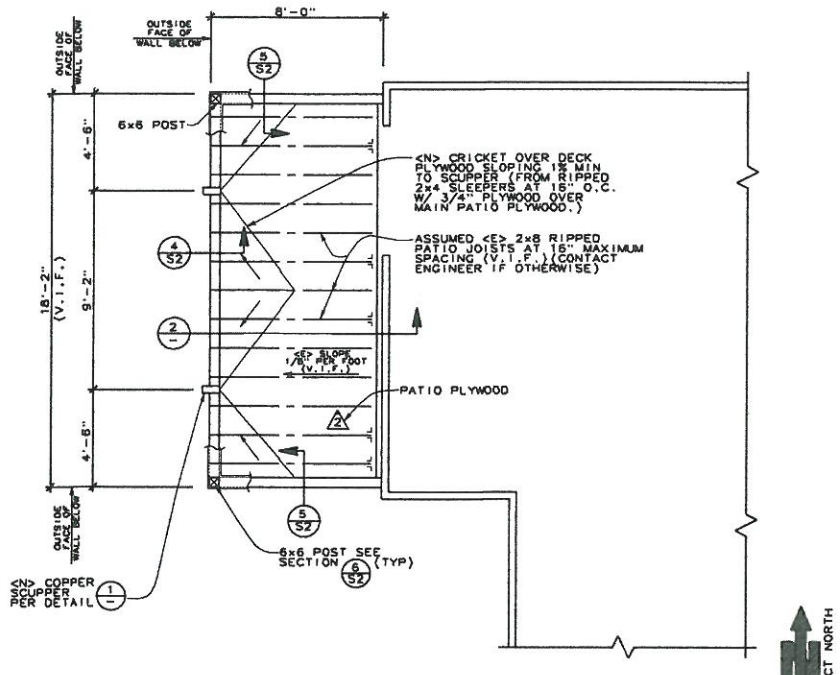
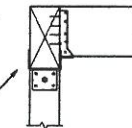


PARTIAL ROOF FRAMING PLAN

1/4" = 1'-0"

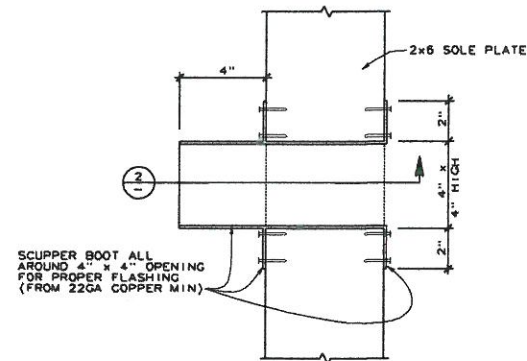
ROOF FRAMING REFERENCED NOTES:

- 1 NAIL 2-2x8 SHAPED HIPPS TOGETHER W/ 10d NAILS AT 8" (STAGGERED)
- 2 USE SUR28 -2 OR SUL28 -2 JOIST HANGER TO HIP AT LEDGER W/ 8-10d x 1 1/2" NAILS TO LEDGER AND 4-10d x 1 1/2" NAILS TO HIP.
- 3 2x10 SHAPED LEDGER W/ 2-SOS 1/4" x 4 1/2" SCREWS AT 18" TO EACH STUD.
- 4 6x12 WESTERN CEDAR #1 ROOF BEAM x 18'-2" (C) LONG W/ EPC66 COLUMN CAP TO 6x6 POST BELOW (TYPICAL EACH END)
- 5 4x10 WESTERN CEDAR #1 ROOF BEAM x 7'-5" (C) LONG W/ HUC410 JOIST HANGER EACH END. USE 8-16d NAILS TO JOIST HANGER AND 6x12 SUPPORTING BEAM OR LEDGER AND 10-10d NAILS TO JOIST HANGER AND 4x12 BEAM.
- 6 HTS30C HORIZONTAL TWIST STRAP TO FACE OF <E> 6x14 ROOF BEAM AND <N> SCABS TO 4x12 ROOF BEAM PER SECTION (FINISH TO MATCH EXISTING)
- 7 2x8 RAFTERS AT 2'-0" MAXIMUM SPACING W/ L330 CLIP TO HIP / LEDGER, USE 6-10d x 1 1/2" NAILS EACH CLIP.



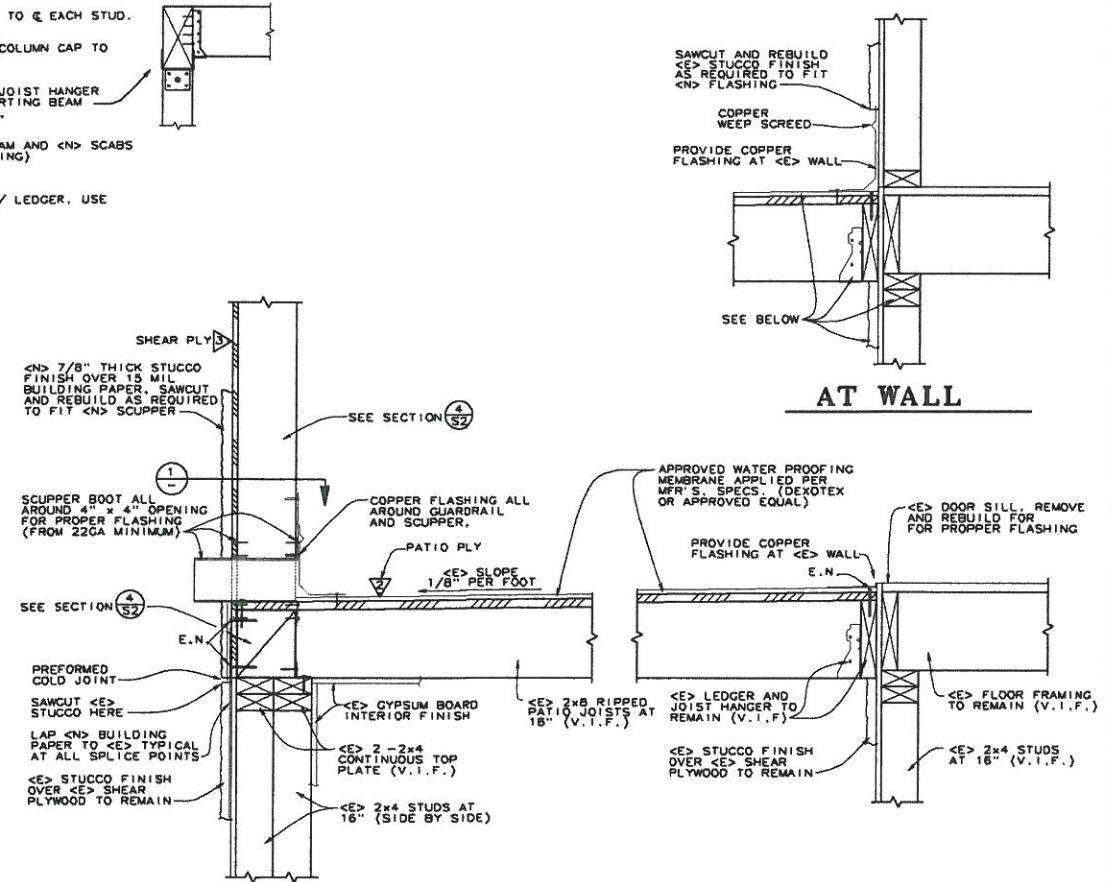
PARTIAL NEW DECK PLAN

1/4" = 1'-0"



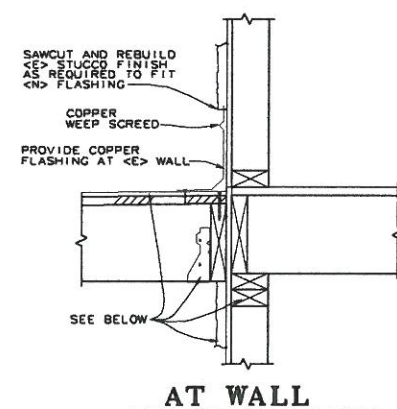
SECTION (PLAN VIEW)

3" = 1'-0"



SECTION

1 1/2" = 1'-0"



AT WALL

| REVISIONS | BY |
|-----------|----|
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6.a



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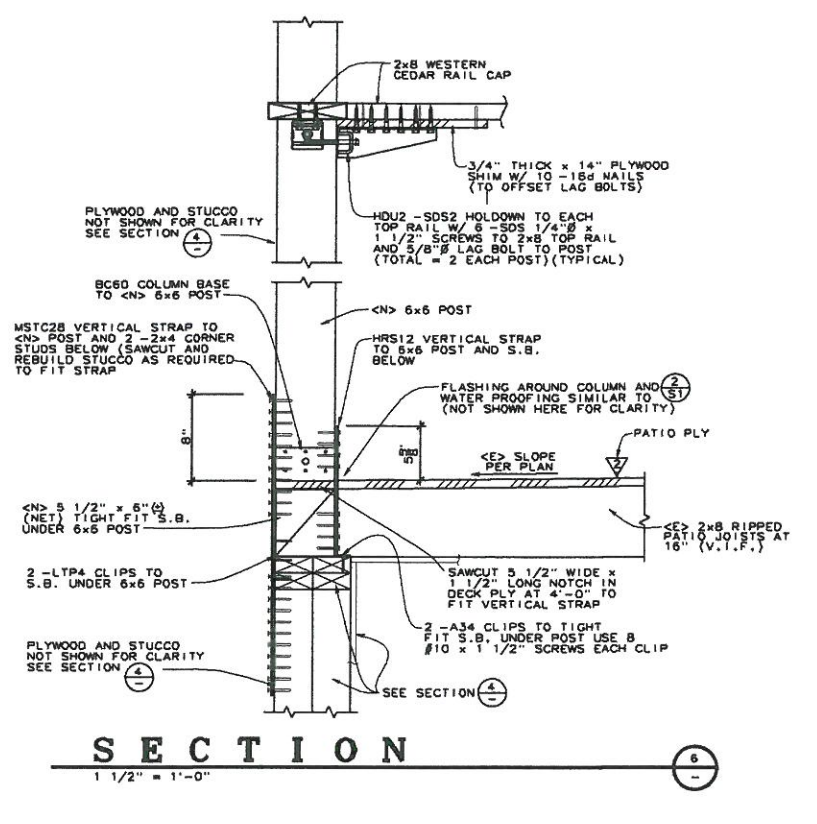
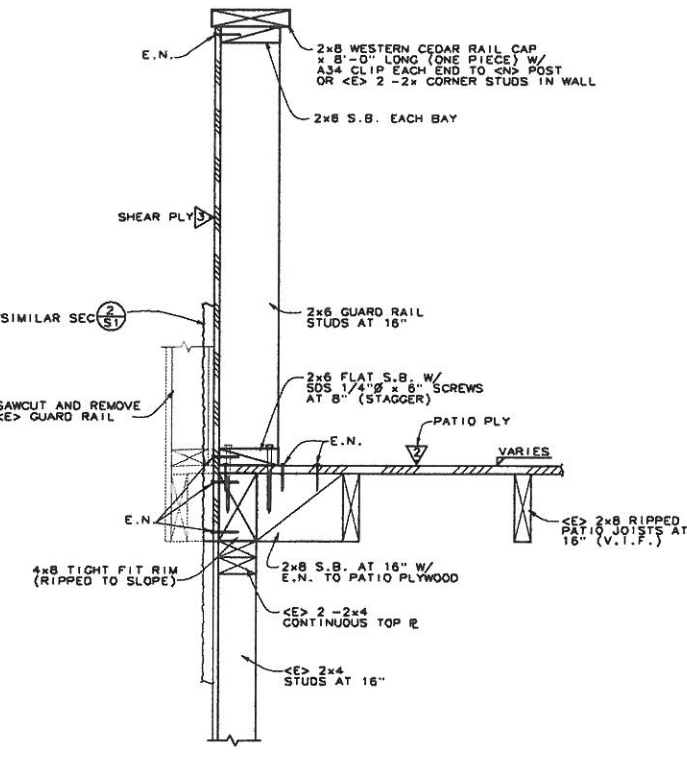
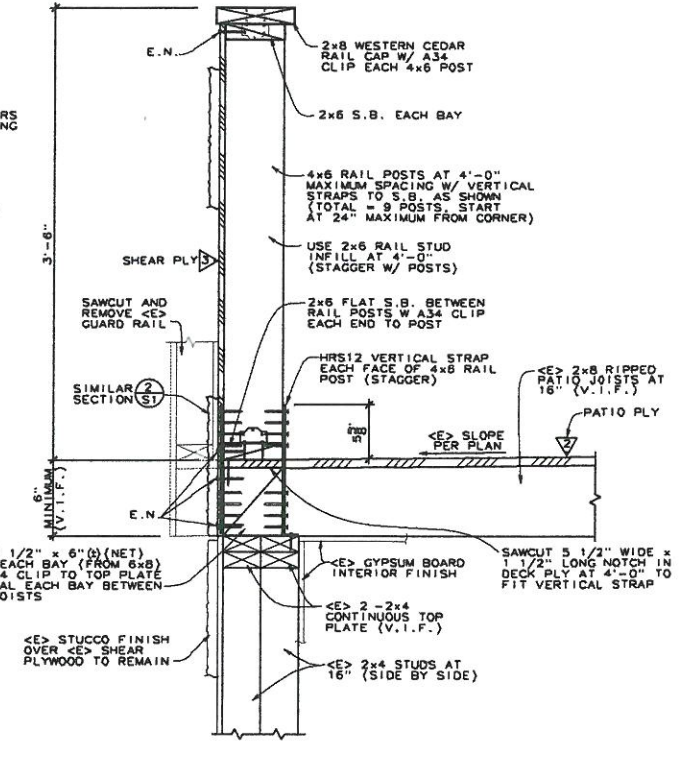
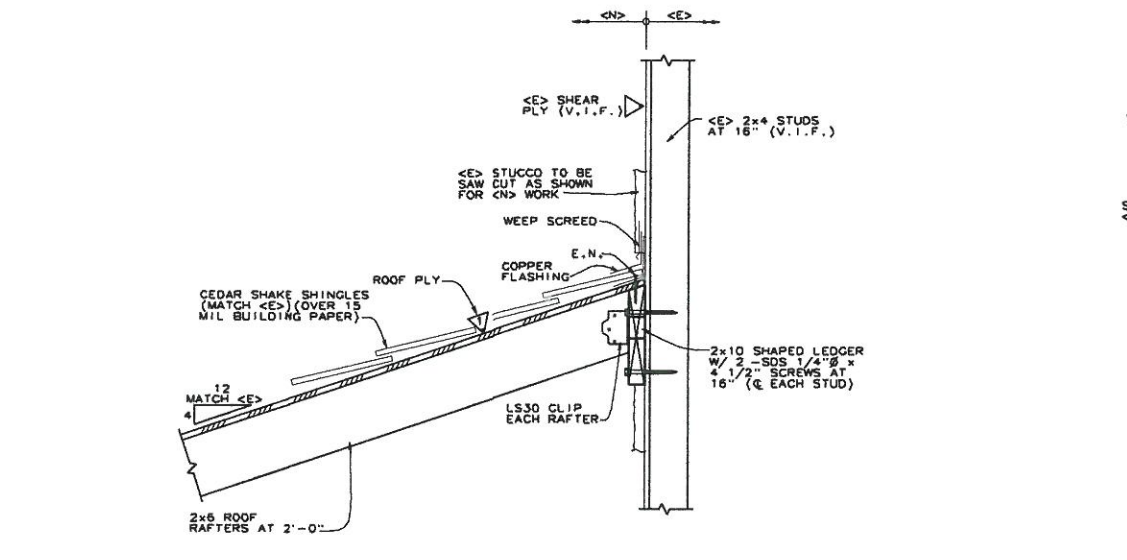
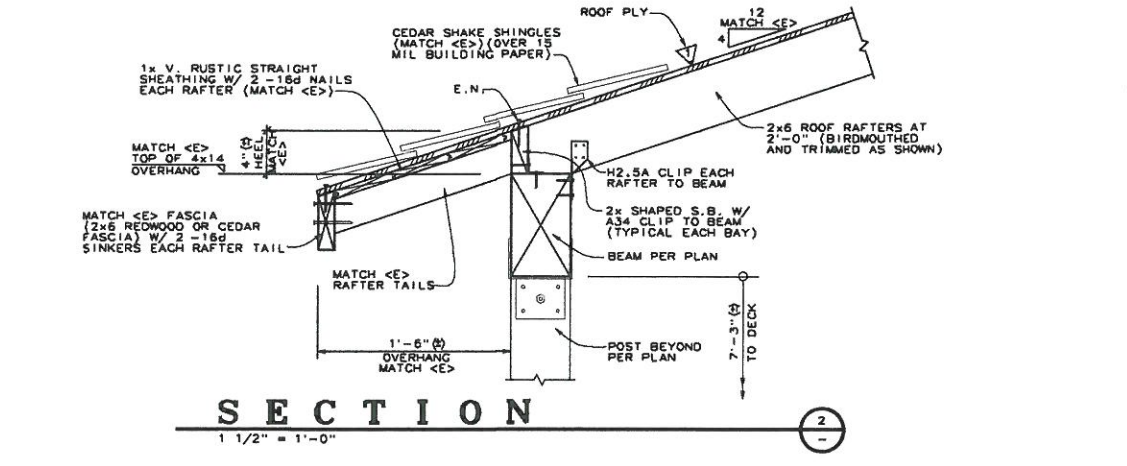
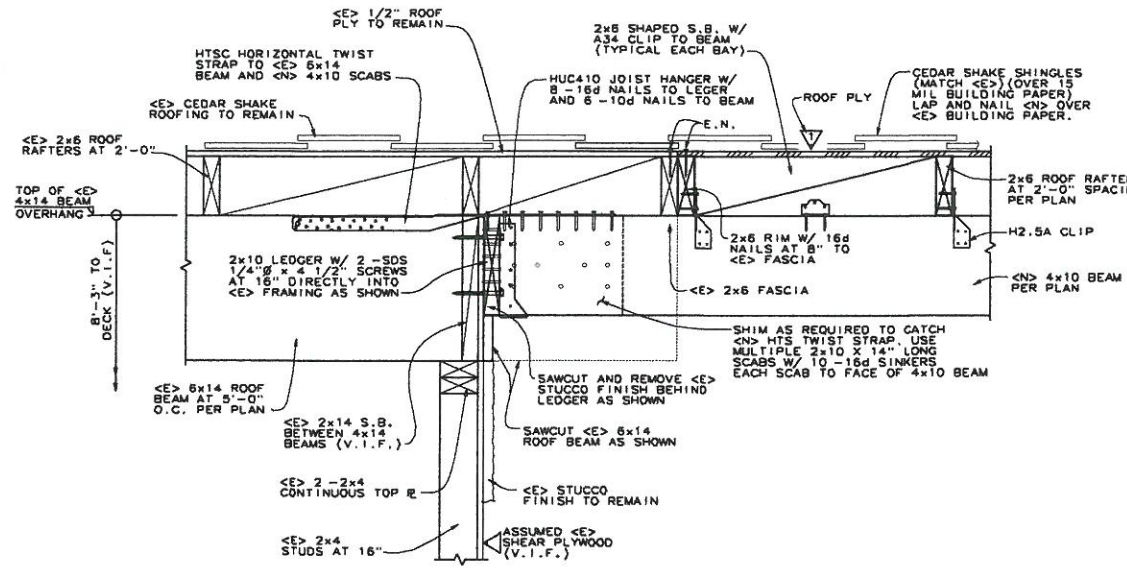
PREPARED FOR:
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 1816 E 28th AVENUE
 SPOKANE, WA. 99203
 PHONE: (831) 884-6125

PROPOSED ROOF OVER 2nd FLOOR PATIO FOR DOUG HERRMAN
 1034 BAYVIEW AVENUE, PACIFIC GROVE, CALIFORNIA
 PARTIAL FRAMING PLANS

| | |
|---------|---------------|
| DATE | FEBRUARY 2014 |
| SCALE | AS SHOWN |
| DRAWN | KDC |
| CHECKED | WNN |
| JOB | 4775 |
| FILE | 4775-S1 |
| SHEET | |

S-1

OF SHEETS



| REVISIONS | BY |
|-----------|----|
| 6.a | |

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PROPOSED ROOF OVER 2nd FLOOR PATIO
 FOR
DOUG HERRMAN
 1034 BAYVIEW AVENUE, PACIFIC GROVE, CALIFORNIA
 FRAMING SECTIONS & DETAILS

| | |
|---------|---------------|
| DATE | FEBRUARY 2014 |
| SCALE | AS SHOWN |
| DRAWN | KDC |
| CHECKED | WNN |
| JOB | 4775 |
| FILE | 4775 - S2 |
| SHEET | S-2 |
| OF | SHEETS |

THESE PLANS ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESS WRITTEN CONSENT OF G.A. GRAEBE & ASSOCIATES INC.

1034 BAYVIEW AVE
PACIFIC GROVE, CA 93940

Existing

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